

FOLKESTONE TOWN COUNCIL



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Date of Publication: 22 January 2026

AGENDA

Meeting: **Planning Committee**
Date: **Thursday 29 January 2026**
Time: **7.00pm**
Place: **Town Council Offices, The Town Hall, 1-2 Guildhall Street, Folkestone.**

To: **The Planning Committee**
(All other Councillors for information only)

YOU ARE HEREBY SUMMONED to attend a meeting of the Planning Committee on the date and at the time and place shown above to transact the business shown on the agenda below. The meeting will be open to the press and public.

Any member who wishes to have information on any matter arising on the agenda which is not fully covered in these papers is requested to contact the Town Clerk prior to the meeting.

Toni Brenchley
Town Clerk

1. **APOLOGIES FOR ABSENCE**

To receive and approve any apologies for absence.

2. **DECLARATIONS OF INTEREST**

To receive any declarations of either personal or prejudicial interest that Members may wish to make.

3. **MINUTES**

To receive the Minutes of the meeting of the Planning Committee held on 8 January 2026 and authorise the Chair of the Committee to sign them as a correct record.

4. **STREET NAMING**

The Committee is asked to review the attached documentation for street naming at the new development at the former Burgoyne Barracks, Shorncliffe, and consider whether it wishes to approve the application.

5. PRE-CONSULTATION

The Committee is asked to review the pre-consultation documents for a proposed telecommunications installation on Cheriton Road, Morehall and decide if they wish to comment.

6. PLANNING APPLICATIONS

(See attached list)

7. RE-CONSULTATIONS

(See attached List)

8. APPEALS

(See attached List)

9. PREMISES LICENCES

(See attached list)

10. LATE PLANNING APPLICATIONS

To view any applications received since the preparation of the agenda.

11. DATE OF NEXT MEETING

Thursday 19 February 2026.

Councillors on Committee:

Councillor Charles Bain Smith
Councillor Bridget Chapman
Councillor Jane Darling
Councillor Christine Dickinson
Councillor Liz McShane
Councillor John Renshaw

Material Considerations:

A material consideration is a matter that should be taken into account in deciding a planning application or on appeal against a planning decision. Material considerations can include (but are not limited to):

- Overlooking/loss of privacy
- Loss of light or overshadowing
- Parking
- Highway safety
- Traffic
- Noise
- Effect on listed building and conservation area
- Layout and density of building
- Design, appearance, and materials
- Government policy
- Disabled persons' access
- Proposals in the Development Plan
- Previous planning decisions (including appeal decisions)
- Nature conservation

However, issues such as loss of view, or negative effect on the value of properties are not material considerations.

There is no set list defining material considerations, the Local Planning Authority (Folkestone and Hythe District Council) will decide what is deemed to be 'material'.

Parking available for Councillors from 6.00pm on the precinct area at the front of the Town Hall.



Folkestone Town Council

**Minutes of the Planning Committee Meeting held on Thursday 8 January 2025
at the Town Council Offices, The Town Hall, 1-2 Guildhall Street, Folkestone.**

PRESENT: Councillors Charles Bain Smith, Liz McShane, John Renshaw,
Jane Darling, Bridget Chapman, Christine Dickinson.

OFFICERS PRESENT: Jennifer Griffin (Administration Officer)

1. APOLOGIES FOR ABSENCE

There were no apologies.

2. DECLARATIONS OF INTEREST

There were no declarations of interest.

3. PLANNING COMMITTEE MINUTES

The Committee was asked to receive the Minutes of the meeting of the Planning Committee held on 4 December 2025 and to authorise the Chair of the Committee to sign them as a correct record.

RESOLVED: That the Minutes of the meeting of the Planning Committee held on 4 December 2025 be received and that the Chair of the meeting be authorised to sign them as a correct record.

Proposed: Councillor Christine Dickinson

Seconded: Councillor Bridget Chapman

Voting: F: 4, Ag: 0; Ab: 0

Councillor Charles Bain Smith arrived at 7:02 pm

4. PLANNING APPLICATIONS

Application no	25/2244/FH
Location	Sparrows Green, Crete Road West
Proposal	Erection of proposed outbuilding located with front garden.
Closing date	05/01/2026
Comment	No Objection

Application no	25/2077/FH
Location	Flat 7, Aaron House, 92 Harbour Way
Proposal	Retrospective application for the erection of an outbuilding.
Closing date	06/01/2026
Comment	No Objection
Application no	25/2222/FH
Location	112 Bouverie Road West
Proposal	Single storey rear extension, rooflights, partial removal of existing walls, erection of an outbuilding, rear external terrace and timber fencing above the existing brick boundary wall.
Closing date	08/01/2026
Comment	No Objection
Application no	25/2131/FH
Location	47 Broadfield Road
Proposal	2 storey side and rear extension with a dormer to front elevation.
Closing date	08/01/2026
Comment	No Objection
Application no	25/2160/FH
Location	47 & 49 Broadfield Road
Proposal	Removal of condition 3 (carport) of planning permission 25/1389/FH.
Closing date	09/01/2026
Comment	No Objection
Application no	25/2289/FH/PA
Location	28 Cheriton Gardens
Proposal	Determination as to whether the prior approval of the Local Planning Authority is required under Class MA of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) for a change of use from commercial, business and service (Use Class E) to 6 residential flats (Class C3).
Closing date	12/01/2026
Comment	No Objection

Application no 25/2283/FH/TCA
Location 1 Trinity Crescent
Proposal Works to trees in a conservation area comprising of T1 to T3 Sycamore, crown clean/thin and reduction of 2 metres vertically and 2 metres laterally.
Closing date 26/01/2026
Comment No Objection

Application no 25/2251/FH
Location 19 Hasborough Road
Proposal Rear and side extension with rooflights with additional rooflights in loft space.
Closing date 12/01/2026
Comment No Objection

Application no 25/2243/FH
Location 12 Tontine Street
Proposal Proposed self-containment of upper floor residential accommodation from the existing ground floor commercial area, including the provision of a new shop front, replacement windows & associated alterations.
Closing date 13/01/2026
Comment No Objection

5. PREMISES LICENCES

Application no PR202512-127047
Location Max Supermarket, 20 Sandgate Road
Proposal Alcohol OFF Sales Only
Closing date 08/01/2026
Comment No Objection

6. LATE PLANNING APPLICATIONS

Application no 25/2232/FH
Location 39 Station Road
Proposal Front extension, first floor roof terrace and recladding of existing building.
Closing date 13/01/2026
Comment No Objection

Councillor Liz McShane arrived at 7:19 pm

Application no 25/2267/FH
Location 6-6A East Cliff
Proposal External alterations, rooflights & enlargement of rear dormer.
Closing date 13/01/2026
Comment No Objection

Application no 25/2261/FH
Location 12 Ingles Road
Proposal Single storey side extension & demolition of shed and erection of garage.
Closing date 14/01/2026
Comment No Objection

Application no 25/2276/FH
Location Flat 1, 3 Grimston Avenue
Proposal Replacement of front, side and rear windows.
Closing date 14/01/2026
Comment No Objection

Application no 25/2286/FH
Location The Leas Lift, Lower Sandgate Road
Proposal Listed building consent to install UKPN power feed from north eastern end of site into the existing (and proposed) maintenance area.
Closing date 14/01/2026
Comment No Objection

Application no 25/2073/FH
Location Land at Park Farm Road

Proposal	Change of use of site to self storage (Use Class B8) and the siting of up to 295 storage containers.
Closing date	26/01/2026
Comment	No Objection

Application no	25/2292/FH
Location	19 Cherry Garden Avenue
Proposal	Works to tree covered by TPO No. 02 of 1992, comprising of T1 Horse Chestnut crown reduction of 1.5 - 2 metres.
Closing date	26/01/2026
Comment	No Objection

Application no	25/2193/FH
Location	7 Marine Parade
Proposal	Partial change of use from hotel to dwelling house.
Closing date	26/01/2026
Comment	No Objection

Application no	25/2314/FH
Location	15-17 Marten Road
Proposal	Construction of Garden Room.
Closing date	27/01/2026
Comment	No Objection

Application no	PR202512-127201
Location	Sunshine Bistro, 63 Sandgate Road
Proposal	Review of above Licence requested by the Immigration Enforcement Licensing Compliance Team.
Closing date	12/01/2026
Comment	No Comment

7. DATE OF NEXT MEETING

Thursday, 29 January 2026 at 7pm.

The meeting concluded at 7:35pm.

..... **Chair**

DRAFT

New homes developer Taylor Wimpey is looking to submit an application for the street name and numbering of their new development at the former Burgoyne Barracks, Shorncliffe, Folkestone. This will be the second and southern-most phase of the development to date.

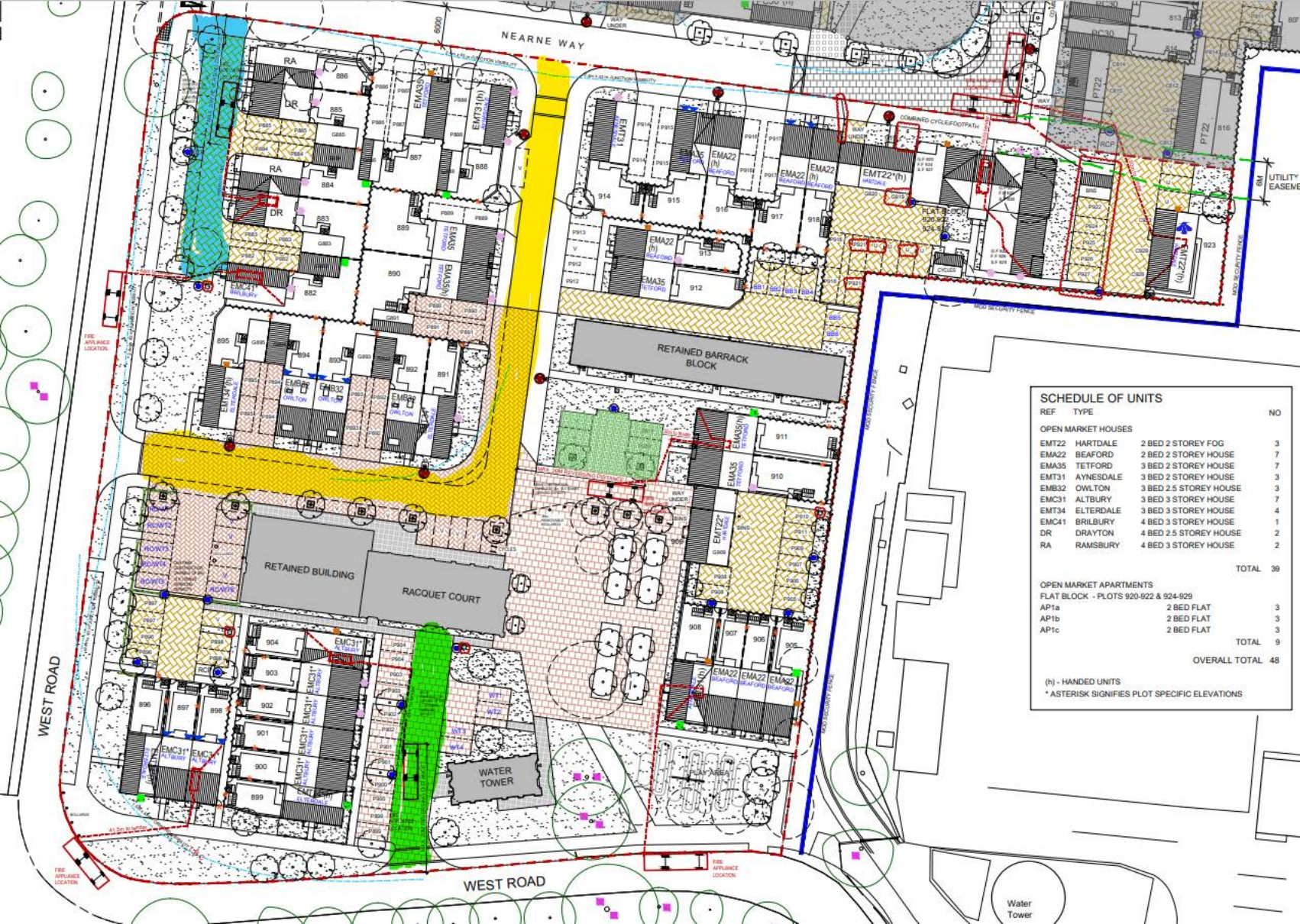
Folkestone & Hythe District Council have suggested three road names to be used:

Sandes (Flora Sandes) highlighted **yellow**

Clarke (Joan Clarke) highlighted **green**

Watson (Alexandra Chalmers Watson) highlighted **blue**

These are the names of famous military women, which follows the naming logic of the adjacent phase to the North.



SCHEDULE OF UNITS			
REF	TYPE		NO
OPEN MARKET HOUSES			
EMT22	HARTDALE	2 BED 2 STOREY FOG	3
EMA22	BEAFORD	2 BED 2 STOREY HOUSE	7
EMA35	TETTFORD	3 BED 2 STOREY HOUSE	7
EMT31	AYNESDALE	3 BED 2 STOREY HOUSE	3
EMB32	OWLTON	3 BED 2.5 STOREY HOUSE	3
EMC31	ALTBURY	3 BED 3 STOREY HOUSE	7
EMT34	ELTERDALE	3 BED 3 STOREY HOUSE	4
EMC41	BRILLBURY	4 BED 3 STOREY HOUSE	1
DR	DRAYTON	4 BED 2.5 STOREY HOUSE	2
RA	RAMSBURY	4 BED 3 STOREY HOUSE	2
			TOTAL 39
OPEN MARKET APARTMENTS			
FLAT BLOCK - PLOTS 920-922 & 924-929			
APIa		2 BED FLAT	3
APIb		2 BED FLAT	3
APIc		2 BED FLAT	3
			TOTAL 9
			OVERALL TOTAL 48
(h) - HANDED UNITS			
* ASTERISK SIGNIFIES PLOT SPECIFIC ELEVATIONS			

Our ref: CS30936800

Toni Brenchley
Folkestone Town Council
The Town Hall
1-2 Guildhall Street
Folkestone
Kent
CT20 1DY

9th January 2026

Dear Mr. Brenchley,

PROPOSED BASE STATION INSTALLATION AT CS30936800 – SW ON CHERITON ROAD, MOREHALL, FOLKESTONE, KENT, CT19 5JY (NGR: 621175, 136555).

Cornerstone is the UK's leading mobile infrastructure services company. We acquire, manage, and own over 20,000 sites and are committed to enabling best in class mobile connectivity for over half of all the country's mobile customers. We oversee works on behalf of telecommunications providers and wherever possible aim to:

- promote shared infrastructure
- maximise opportunities to consolidate the number of base stations
- significantly reduce the environmental impact of network development

Cornerstone are in the process of progressing suitable sites in the Folkestone area for radio base stations that will improve service provision for VMO2. The purpose of this letter is to consult with you and seek your views on our proposal before any planning submission is made. We understand that you are not always able to provide site specific comments, however Cornerstone and Vodafone are committed to consultation with communities on our mobile telecommunications proposals and as such would encourage you to respond.

As part of this continued network improvement program, there is a specific technical requirement to provide new 5G coverage in this area of Folkestone. An existing base station has been identified in the area; however, it cannot accommodate VMO2's latest requirements due to technical constraints. Therefore, a new streetworks style base station is required for this 5G upgrade to VMO2' service in proximity of the existing base station that will be retained and in due course upgraded for improved service.


Mobiles can only work with a network of base stations in place where people want to use their mobile phones or other wireless devices. Without base stations, the mobile phones, and other devices we rely on simply won't work.

Our technical network requirement is as follows:

In the first instance, all correspondence should be directed to the agent.

Cornerstone Planning Consultation Letter to Councillors - Standard V.3- 08/04/2021

Registered Address:
Cornerstone Telecommunications, Infrastructure Limited,
Hive 2, 1530 Arlington Business Park, Theale, Berkshire, RG7 4SA.
Registered in England & Wales No. 08087551.
VAT No. GB142 8555 06

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www.cornerstone.network

- **CS30936800 – VMO2 - SW ON CHERITON ROAD**

There is a specific requirement for a radio base station at this location to provide new 5G coverage to the area.

A number of options have been assessed in respect of the site search process and the preferred Cornerstone option is as follows:

- **SW ON CHERITON ROAD, MOREHALL, FOLKESTONE, KENT, CT19 5JY (NGR: 621175, 136555)**
- The proposal requires the installation of a 20m monopole supporting 6 no. antennas and 2 no. 0.3m dishes, 2 no. cabinets, associated ancillary equipment, and development works thereto.

As mentioned above and detailed in the discounts below, there is an existing rooftop site further to the west - at 331-333 on Cheriton Road - which currently serves the area, however, the existing pole design is not capable of accommodating the upgraded equipment required including the proposed 5G antennas.

In order to retain use of the current rooftop site, it would be necessary to redevelop the existing structure into a more robust mast capable of supporting the full range of equipment required by the operator.

A proposal for such an upgrade was submitted to the local planning authority in November 2023 under reference 23/1725/FH. This application sought to change the design of the existing installation from the pole mounted antennas to a more robust tower design and increase the height to 20m. This application was subsequently refused in December 2023. The refusal was based on concerns that the proposed upgraded installation, by virtue of its overall height, design and siting in a prominent location, would represent a visually obtrusive and prominent form of development that would be detrimental to the character and appearance of the existing building and the visual amenities of the street scene.

Following this refusal, a review of viable options was undertaken, and a replacement site at this location is now proposed to meet the ongoing requirement. The new proposal is considered better able to address the concerns previously raised by the Local Planning Authority.

The site is located on the southern side of Cheriton Road (A2034), adjacent to the pavement outside The Harvey Grammar School. The surrounding area comprises a mix of educational, recreational, and residential uses, including the Folkestone Indoor Bowls Club and Folkestone Invicta Football Club to the east, and residential properties along Cherry Garden Avenue and Beachborough Road to the west. Cheriton Road Cemetery lies directly to the south, featuring mature tree cover and a listed building within its grounds. The site benefits from an urban streetscape setting with existing street furniture and lighting columns, providing a suitable context for the proposed installation.

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A streetworks installation has been proposed as the most viable solution to meet this demand for coverage and capacity. This site has been selected following a physical search of the area with a qualified radio planner and telecommunications surveyor. The site is considered to be the most suitable location for a replacement installation, being able to balance both the technical requirements of the operator and any relevant planning considerations.

The design of the installation involves a relatively slimline monopole with tightly stacked antennas, ancillary equipment contained within smaller highways cabinets at ground level with no large area of hard-standing around the site. This design has been selected over other available options which use bulkier and wider masts or lattice towers with open headframes, level antennas, larger cabinets or cabins, visible lengths of cable and trays, high chain-link or palisade fencing and a larger area of hard-standing.

The monopole will support 6no. antennas; the antennas are required to ensure improved capacity and effective transmission of signal to the locality. The ancillary equipment is proposed below the antennas and includes 3no ERS's and 2no. microwave dishes mounted on the monopole. ERS's are relatively small and allow the antennas to be more efficient, which also allows the amount of ground-based equipment to be reduced. Transmission dishes are essential to ensure a link back into the wider network, they must have a clear line of sight for effective communication.

At ground level 2no. cabinets will be installed to support the upgraded installation. The cabinets will be coloured green to match the surrounding vegetation and to blend into the surroundings.

The height of the installation at 20m has been proposed to provide the best possible levels of coverage to the local area and to allow clearance of obstructions within the environment such as buildings, trees and changes in topography. The height has been selected following an on-site design visit and is informed by technical data.

It is acknowledged that the installation would be taller than the existing street furniture in the area. Technical requirements dictate the height of the installation and mean that in this instance, it is not possible to lower the height. The radio frequency produced by 5G is prone to 'clipping' which means it does not pass well through different materials and needs a clear space free of obstructions (such as trees and buildings) to deliver coverage. As such, there is a need to ensure that the antennas are able to rise above any such obstructions. As 5G signal is much more susceptible to 'clipping' and cannot travel as far as lower frequencies, a series of new installations, such as this, which are taller in height are being proposed across the country to accommodate the delivery of new and upgraded services. The monopole is proposed to be coloured grey.

In addition, the installation will provide a range of technologies (4G, 5G) which requires multiple antennas. These antennas are stacked on top of each other with the lower set at 16.5m. As above, it is necessary for these lower antennas and the dish to see above obstructions in the environment and take account of changes in topography. The stacking of the antennas therefore also contributes to the height of the monopole. The design results in a slimline solution which is preferable for this highways environment.

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It is acknowledged that there are various Grade II Listed structures within the Cemetery to the south. However, whilst the proposed development would result in a degree of change to visual outlook, it is considered that the impact would not be unacceptable when considered in the context of the surrounding area. The site is not located within the cemetery but is positioned outside its boundary, near the western corner of the premises, separated by a brick wall and a line of mature trees along the park's perimeter. The installation is proposed using a slimline streetworks design, is at the lowest possible height to ensure delivery of modern technologies and frequencies and is proposed to meet an identified need for improved capacity in the area. Every effort has been made to reduce visual impact of the development so far as practicable when considering the constraints to telecommunications design. The site is not located within, nor in proximity to, any designated area.

The rollout of 5G across the country is designed to bring connectivity, in line with government aspirations, to those areas where the provision is substandard and additional capacity is required. However, the very nature of 5G coverage with its high data capacity and higher frequency means that the installations have to be located within the areas where the coverage is required.

In designing the proposed development, the applicant has sought to achieve a balance between technical requirements and minimising environmental impact, as far as is practicable. It must, however, be acknowledged that technical constraints heavily influence the design and limit the scope to alter the appearance of the telecommunications equipment. The amount of telecommunications equipment on the site has been kept to a technical minimum and the smallest practical components have been utilised. It has been designed to limit visual impact as much as possible whilst still working within the technical design constraints of delivering the latest technologies.


Alternative site options considered and rejected are as follows:

- **D1 – Existing site at 331-333 Cheriton Road, Morehall, Folkestone, CT19 4AZ (NGR: 620584, 136669)**
The operator has fully investigated upgrading the exiting rooftop site to provide the latest technologies for 4G services as well as new 5G coverage/capacity into the VMO2 network. However, the design of the existing pole mounted antennas is not able to support the new 5G antennas for the operator. As indicated above, a planing application was submitted in respect of a proposed design to enable the 5G technologies to be deployed at this existing telecoms site location, however the planing application was refused. This existing telecommunications site has therefore been discounted for VMO2 new technology requirements for this reason. A new replacement site for VMO2 is therefore needed to provide this operator with the latest 4G and 5G technologies.
- **D2 - SW outside Shell Garage on 336 Cheriton Road, CT19 4DP (NGR: 620661, 136676)**
There is evidence of underground services within the pavement which would prevent an installation in this location. For this reason, this option has been discounted.
- **D3 - SW on Surrenden Road, Morehall, Folkestone, CT19 4DZ (NGR: 620634, 136778)**

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Sinclair Dalby Limited, 11 Windell Street, Bath, Somerset, BA2 5BG
Registered Office, Sinclair Dalby Limited, 11 Windell Street, Bath, Somerset, BA2 5BG. Registered in England 7610197.

- This road is entirely residential, with dwellings on both sides and narrow pavements. Given the purely residential character of the area, there is no practical opportunity to accommodate a streetworks-style installation at this location. Any such scheme would likely compromise pedestrian movement, interfere with access to properties, and adversely affect highway safety.
- **D4 - RT at Subway/Greggs, Cheriton Road, Morehall, Folkestone, CT19 4AZ (NGR: 620683, 136691)**
- The building is too low to provide the height required for the antennas to see over obstructions with the surround environment to successfully deliver coverage to the target areas.
- **D5 - RT at ATS Euromaster, 310 -312, Cheriton Road, Morehall, Folkestone, CT19 4DP (NGR: 620741, 136669)**
- The building's pitched rooftop cannot safely or practically accommodate the required telecommunications equipment, as it would compromise structural stability and installation feasibility. For this reason, this option has been discounted.
- **D6 - SW on Morehall Avenue, Morehall, Folkestone, CT19 4EF (NGR: 620799, 136713)**
- This road is entirely residential, and any installation would need to be positioned in very close proximity to properties. Whilst not wholly unacceptable the site would be more visually dominating and more impactful on neighbouring amenity than the selected site. It has therefore been discounted for these reasons in favour of the proposed site.
- **D7 - SW on Chart Road, Morehall, Folkestone, CT19 4EW (NGR: 620855, 136768)**
- This road is entirely residential, and any installation would need to be positioned in very close proximity to properties. Whilst not wholly unacceptable the site would be more visually dominating and more impactful on neighbouring amenity than the selected site. It has therefore been discounted for these reasons in favour of the proposed site.
- **D8 - SW on Cheriton Road, Morehall, Folkestone, CT19 4DW (NGR: 620855, 136670)**
- As above, this road is entirely residential, and any installation would need to be positioned in very close proximity to properties. Whilst not wholly unacceptable the site would be more visually dominating and more impactful on neighbouring amenity than the selected site. It has therefore been discounted for these reasons in favour of the proposed site.
- **D9 - SW on Trimworth Road, Morehall, Folkestone, CT19 4EL (NGR: 620989, 136681)**
- As above, this road is entirely residential, and any installation would need to be positioned in very close proximity to properties. Whilst not wholly unacceptable the site would be more visually dominating and more impactful on neighbouring amenity than the selected site. It has therefore been discounted for these reasons in favour of the proposed site.
- **D10 - SW on Cherry Garden Avenue, Morehall, Folkestone, CT19 5LB (NGR: 621121, 136775)**

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- Wide pavement on Cherry Garden Avenue, however, this location is overlooked by houses from the western side. Whilst not wholly unacceptable the site would be more visually dominating and more impactful on neighbouring amenity than the selected site. It has therefore been discounted for these reasons in favour of the proposed site.
- **D11 - RT at The Harvey Grammar School, Cheriton Road, Morehall, Folkestone, CT19 5JY (NGR: 621143, 136740)**
- The building's rooftop is too low to provide the height required for the antennas to see over obstructions with the surrounding environment to successfully deliver coverage to the target areas. For this reason, this option has been discounted.
- **D12 - RT at Cherry Court, Cherry Garden Avenue and Cheriton Road, Morehall, Folkestone, CT19 5LA (NGR: 621071, 136633)**
- The building's rooftop design makes it unsuitable for a telecom's installation. Discounted on technical grounds.
- **D13 - SW to the north of junction of Cherry Garden Avenue, Morehall, Folkestone, CT19 5LA (NGR: 621085, 136601)**
- The pavements around the junction have been investigated; however, they are either too narrow to accommodate an installation or affected by underground services that would prevent construction. As a result, this option has been discounted.
- **D14 - SW on Beachborough Road, Morehall, Folkestone, CT19 4AB (NGR: 621099, 136503)**
- The road is entirely residential, and any installation would need to be positioned in very close proximity to properties. Whilst not wholly unacceptable the site would be more visually dominating and more impactful on neighbouring amenity than the selected site. The pavements are also too narrow to accommodate an installation. It has therefore been discounted for these reasons in favour of the proposed site.
- **D15 - SW on Station Road, Morehall, Folkestone, CT19 4AY (NGR: 620901, 136486)**
- The pavements in the area are too narrow to accommodate an installation. The grass verge within the car park and along the railway are too close to the tracks. A radio base station cannot be installed within 20m of a live railway line due to installation and mast maintenance reasons as the line needs to be closed for such works to be carried out which would detrimentally affect users of the railway network. For these reasons, this option has been discounted
- **D16 - GF on Shorncliffe Road, Morehall, Folkestone, CT20 3PL (NGR: 620845, 136440)**
- As above, the grass verge to the west of the car park is too close to the tracks. A radio base station cannot be installed within 20m of a live railway line due to installation and mast maintenance reasons as the line needs to be closed for such works to be carried out which would detrimentally affect users of the railway network. For these reasons, this option has been discounted
- **D17 - GF within UKPN Substation land, Station Road, CT20 3PA (NGR: 620852, 136570)**
- This site was discounted due to limited space and the absence of a suitable set-down area for construction or maintenance activities.

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- **D18 - GF Jewson, Lawrence Close, Morehall, Folkestone, CT19 4BA (NGR: 620784, 136558)**
- There is not enough room within the yard for a site without negatively impacting on the operations of the business. The building's rooftop is also too low to provide the required level of coverage for the area. For these reasons, this option has been discounted.
- **D19 - GF within UKPN Substation land, Station Road, CT20 3PA (NGR: 620752, 136522)**
- This site was discounted due to health and safety concerns associated with the nearby power station, restricted access via a narrow residential road with limited set-down space for construction, and insufficient area to accommodate the proposed installation. For these reasons, this option has been discounted.
- **D20 - RT at Kwik Fit, Cheriton Road, Morehall, Folkestone, CT19 4AZ (NGR: 620718, 136623)**
- The building's rooftop is too low to provide the height required for the antennas to see over obstructions with the surrounding environment to successfully deliver coverage to the target areas. For this reason, this option has been discounted.
- **D21 - SW on St. George, Morehall, Folkestone, CT19 4BE (NGR: 620688, 136593)**
- The road is entirely residential, and any installation would need to be positioned in very close proximity to properties. Whilst not wholly unacceptable the site would be more visually dominating and more impactful on neighbouring amenity than the selected site. The pavements are also too narrow to accommodate an installation. It has therefore been discounted for these reasons in favour of the proposed site.
- **D22 - SW on St Francis Road, Morehall, Folkestone, CT19 4BJ (NGR: 620624, 136612)**
- The road is entirely residential, and any installation would need to be positioned in very close proximity to properties. Whilst not wholly unacceptable the site would be more visually dominating and more impactful on neighbouring amenity than the selected site. The pavements are also too narrow to accommodate an installation. It has therefore been discounted for these reasons in favour of the proposed site.
- **D23 - SW on St Geraldine Road, Morehall, Folkestone, CT19 4BL (NGR: 620581, 136565)**
- As above, the road is entirely residential, and any installation would need to be positioned in very close proximity to properties. Whilst not wholly unacceptable the site would be more visually dominating and more impactful on neighbouring amenity than the selected site. The pavements are also too narrow to accommodate an installation. It has therefore been discounted for these reasons in favour of the proposed site.

The Local Planning Authority must register, where available, and our records of other potential sites have already been reviewed, the policies in the Development Plan have been taken into account and the planning history of the site has been examined.

All Cornerstone installations are designed to be fully compliant with the public exposure guidelines established by the International Commission on Non-Ionizing Radiation Protection (ICNIRP). These guidelines have the support of UK Government, the European Union and they also have the formal backing of the World Health Organisation. A certificate of ICNIRP compliance will be included within the planning submission.

In the first instance, all correspondence should be directed to the agent.

Cornerstone Planning Consultation Letter to Councillors - Standard V.3- 08/04/2021

Registered Address:
 Cornerstone Telecommunications, Infrastructure Limited,
 Hive 2, 1530 Arlington Business Park, Theale, Berkshire, RG7 4SA.
 Registered in England & Wales No. 08087551.
 VAT No. GB142 8555 06



Cornerstone, Hive 2,
 1530 Arlington Business Park,
 Theale, Berkshire, RG7 4SA
www.cornerstone.network

In order to give you time to send your comments or request further information, we commit to allow at least 14 days before an application is submitted to the Local Planning Authority. This 14-day period starts from the date at the top of this letter.

We would also be grateful if you could please advise of any local stakeholders or groups that might like to make comments.

We look forward to receiving any comments you may have on the proposal.

Should you have any queries regarding this matter, please do not hesitate to contact me (quoting cell number CS30936800).

Yours faithfully,



Veronica Raescu
Surveyor

Sinclair Dalby Ltd

Email: veronica.raescu@sinclairdalby.co.uk

Mobile: 07960 673331

(for and on behalf of Cornerstone)

In the first instance, all correspondence should be directed to the agent.

Cornerstone Planning Consultation Letter to Councillors - Standard V.3- 08/04/2021

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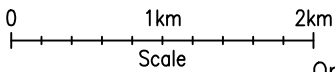
Cornerstone, Hive 2,
1530 Arlington Business Park,
Theale, Berkshire, RG7 4SA

www.cornerstone.network

Sinclair Dalby Limited, 11 Windell Street, Bath, Somerset, BA2 5BG

Registered Office, Sinclair Dalby Limited, 11 Windell Street, Bath, Somerset, BA2 5BG. Registered in England 7610197.

SITE LOCATION

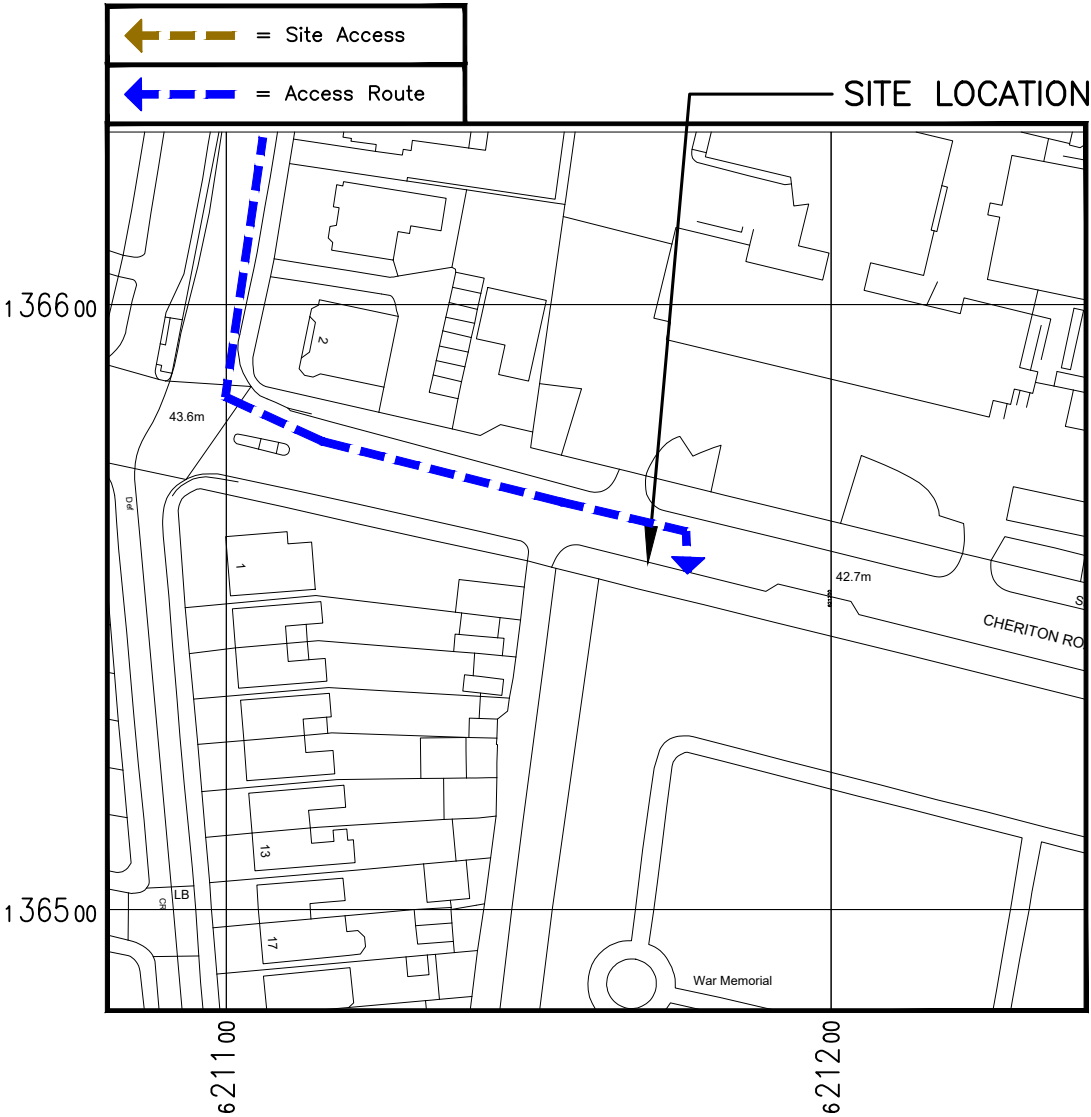
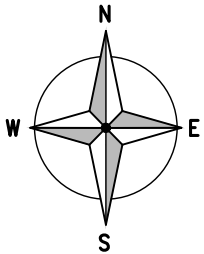


SITE LOCATION
(Scale 1:50000)

Ordnance Survey map extract
based upon Landranger map series
with the permission of the controller of
His Majesty's Stationery Office
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SITE PHOTOGRAPH



DETAILED SITE LOCATION
(Scale 1:1250)

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ALL DIMENSIONS ARE IN mm UNLESS NOTED OTHERWISE

N.G.R E:621175 N:136555

DIRECTIONS TO SITE:
HEAD EAST ON M20, AT JUNCTION 13, TAKE
THE A20 EXIT TO FOLKESTONE. AT THE
ROUNDBOUT, TAKE THE 4TH EXIT ONTO
CASTLE HILL BRIDGE. AT CASTLE HILL
INTERCHANGE, TAKE THE 2ND EXIT ONTO
CHERRY GARDEN AVE/A2034, TURN LEFT ONTO
CHERITON RD/A2034 & DESTINATION WILL BE
ON THE RIGHT

A	PLANNING ISSUE	RP	SD	31.07.25
REV	MODIFICATION	BY	CH	DATE



Unit E, Madison Place, Northampton Road,
Manchester, M40 5AG
Tel: 0161 785 4500
Fax: 0161 785 4501
Web: www.clarke-telecom.com

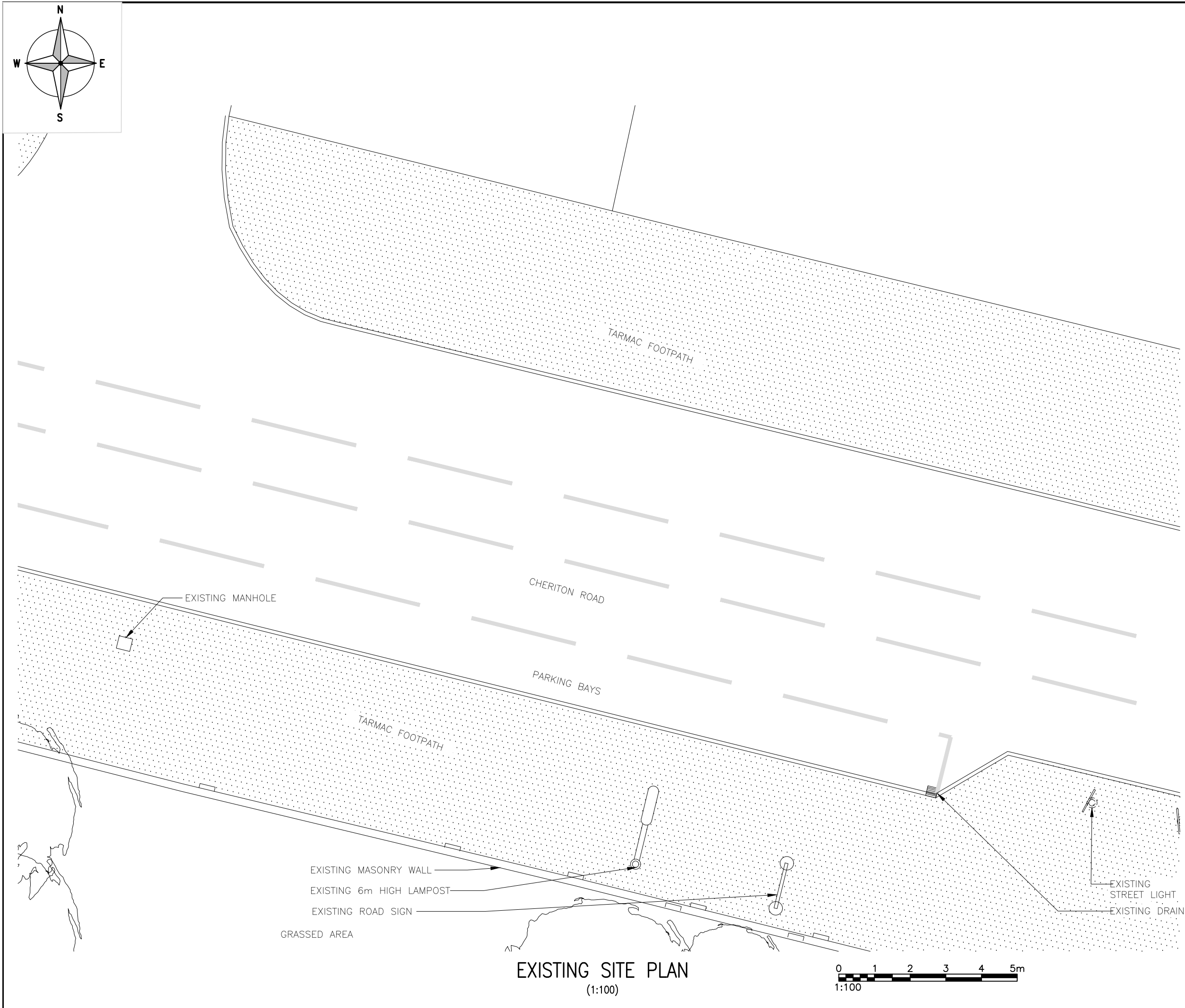


Cell Name	Opt.
SW ON CHERITON ROAD	—

Cell ID No		
CSID	VF	VMO2
30936800	—	25684
Project No.	TM Cell ID	N/A
—	—	—

Site Address / Contact Details
CHERITON ROAD MOREHALL FOLKESTONE KENT CT19 5JY

Drawing Title:		SITE LOCATION MAPS			
Purpose of issue:		PLANNING			Dwg Rev:
Drawing Number:		100			A
Surveyed By:		Original Sheet Size:			Pack Issue:
RA		A3			
Drawn:	Date:	Checked:	Date:		
RP	31.07.25	SD	31.07.25	B	



ALL DIMENSIONS ARE IN mm UNLESS NOTED OTHERWISE

N.G.R

E:621175


N:136555

NOTES:

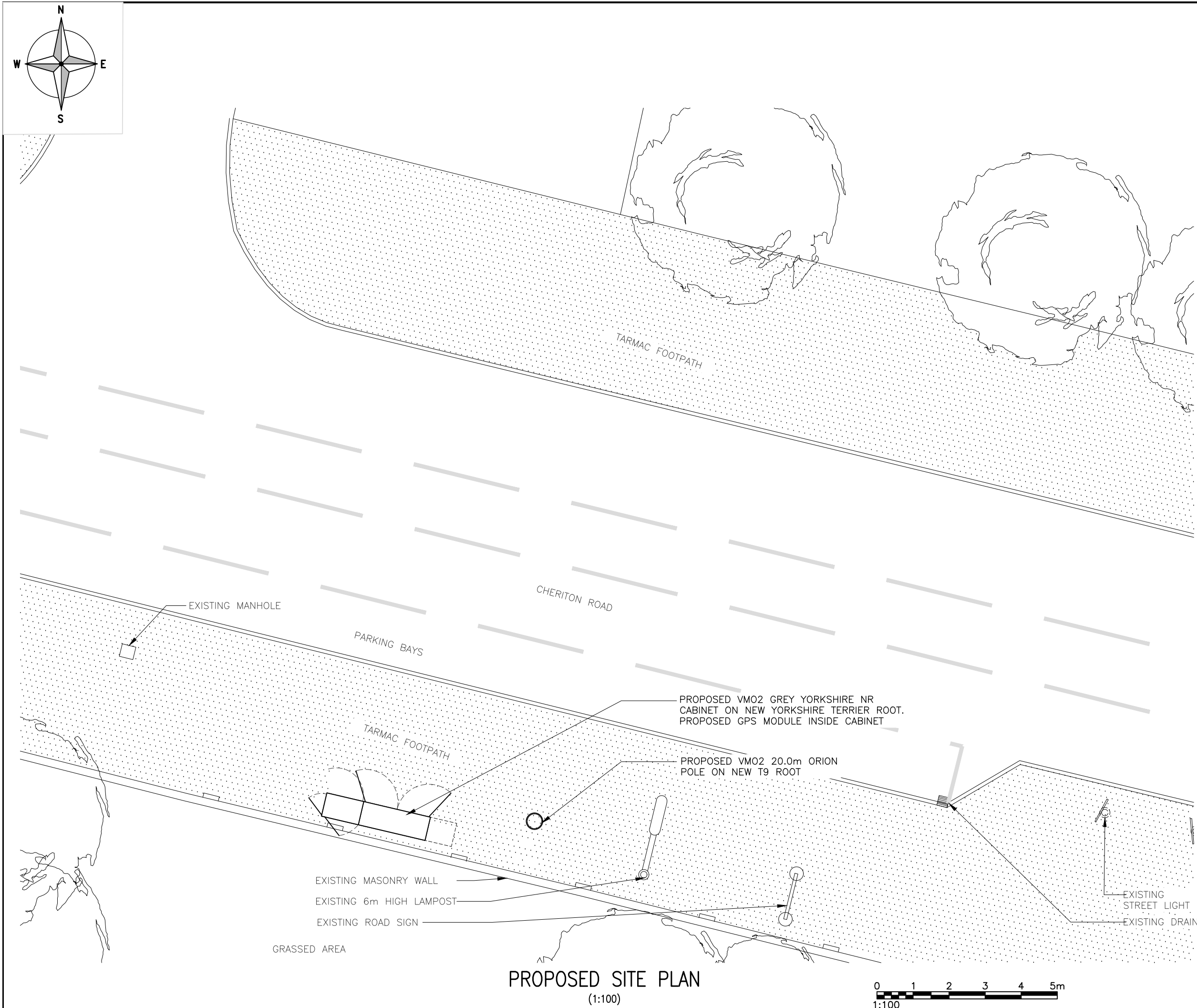
A	PLANNING ISSUE	RP	SD	31.07.25
REV	MODIFICATION	BY	CH	DATE



Unit E, Madison Place, Northampton Road,
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Web: www.clarke-telecom.com



Cell Name				Opt.
SW ON CHERITON ROAD				—
Cell ID No				
CSID	—	VF	—	VMO2
30936800	—	—	—	25684
Project No.	—	TM Cell ID	—	N/A
—	—	—	—	—
Site Address / Contact Details				
CHERITON ROAD MOREHALL FLOLKESTONE KENT CT19 5JY				
Drawing Title: EXISTING SITE PLAN				
Purpose of issue: PLANNING				Dwg Rev: A
Drawing Number: 200				Pack Issue: B
Surveyed By: RA		Original Sheet Size: A3		
Drawn: RP	Date: 31.07.25	Checked: SD	Date: 31.07.25	



ALL DIMENSIONS ARE IN mm UNLESS NOTED OTHERWISE

N.G.R

E:621175

N:136555

NOTES:

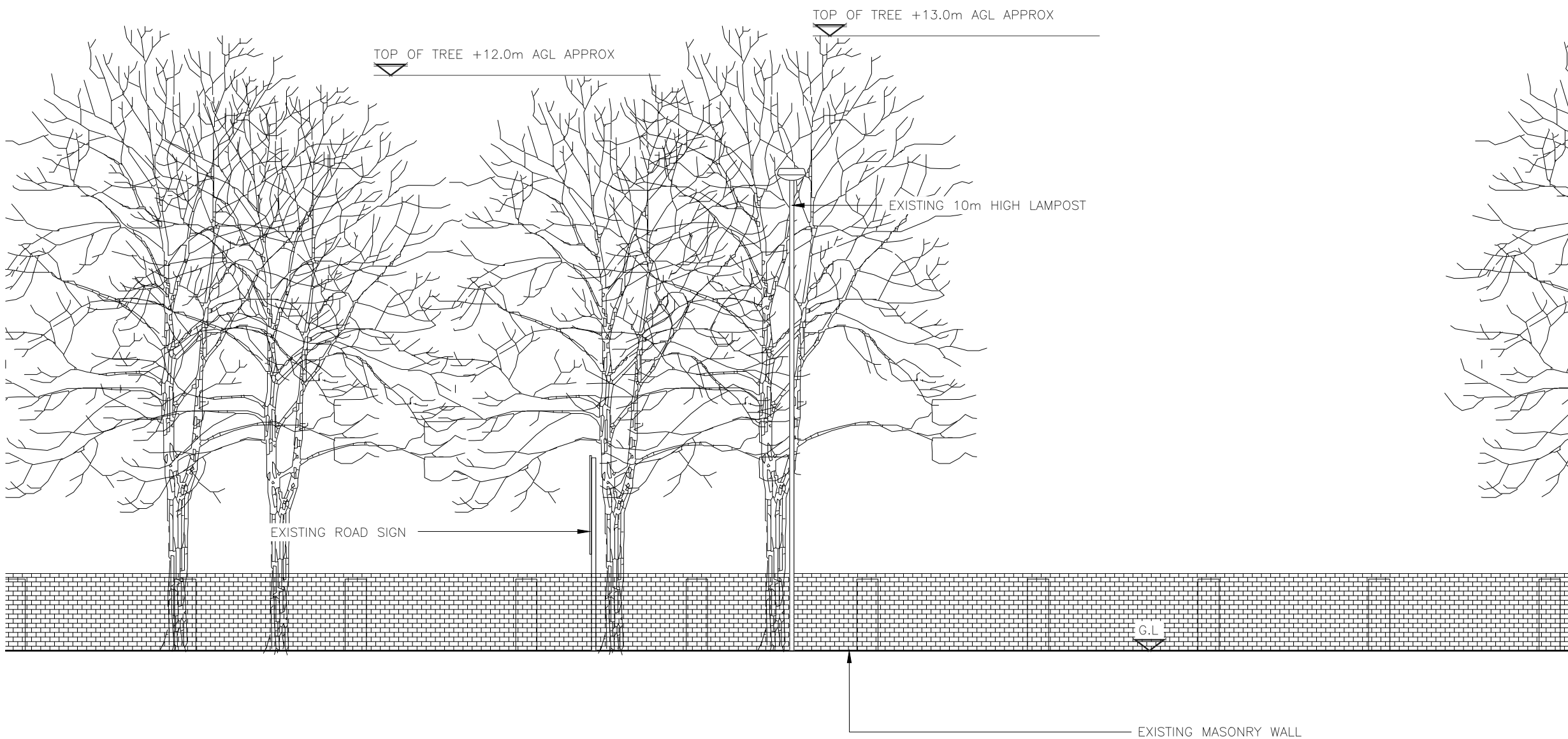
A	PLANNING ISSUE	RP	SD	31.07.25
REV	MODIFICATION	BY	CH	DATE



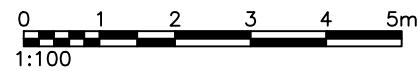
Unit E, Madison Place, Northampton Road,
Manchester, M40 5AG
Tel: 0161 785 4500
Fax: 0161 785 4501
Web: www.clarke-telecom.com



Cell Name				Opt.
SW ON CHERITON ROAD				—
Cell ID No				
CSID	—	VF	—	VM02
30936800	—	—	—	25684
Project No.	—	TM Cell ID	—	N/A
—	—	—	—	—
Site Address / Contact Details				
CHERITON ROAD MOREHALL FLOKKESTONE KENT CT19 5JY				
Drawing Title: PROPOSED SITE PLAN				
Purpose of issue: PLANNING				Dwg Rev: A
Drawing Number: 201				Pack Issue: B
Surveyed By: RA		Original Sheet Size: A3		
Drawn: RP	Date: 31.07.25	Checked: SD	Date: 31.07.25	



EXISTING ELEVATION
(1:100)



ALL DIMENSIONS ARE IN mm UNLESS NOTED OTHERWISE

N.G.R | E:621175 | N:136555

A	PLANNING ISSUE	RP	SD	31.07.25
REV	MODIFICATION	BY	CH	DATE



Unit E, Madison Place, Northampton Road,
Manchester, M40 5AG
Tel: 0161 785 4500
Fax: 0161 785 4501
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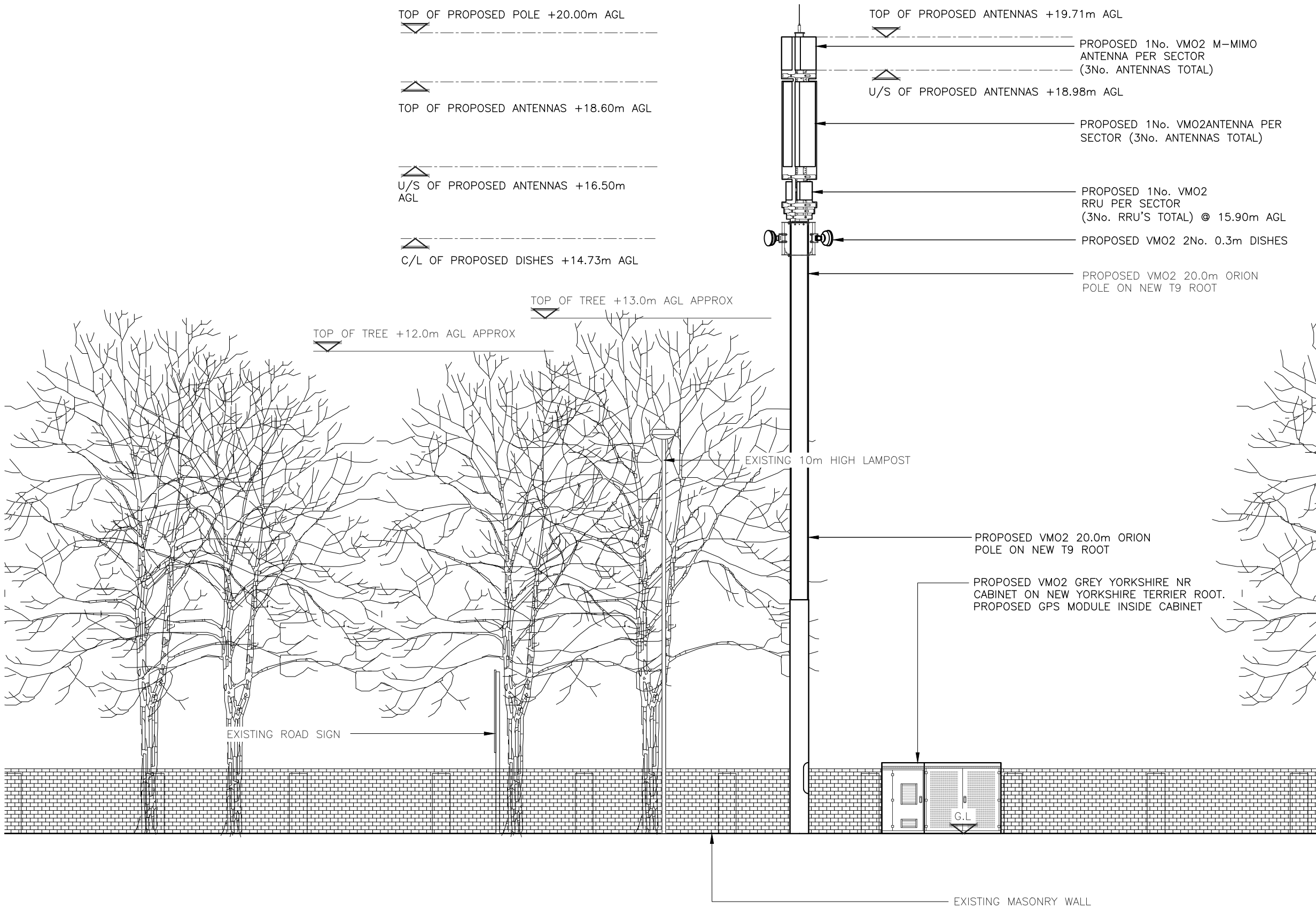


Cell Name	Opt.
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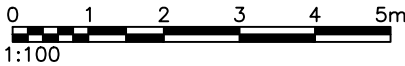
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CSID	—	VF	—	VM02
30936800	—		25684	
Project No.	—	TM Cell ID	—	N/A
—	—		—	

Site Address / Contact Details
CHERITON ROAD MOREHALL FOLKESTONE KENT CT19 5JY

Drawing Title:	EXISTING ELEVATION	Dwg Rev:	
Purpose of issue:	PLANNING	Dwg Rev:	
Drawing Number:	300		A
Surveyed By:	RA	Original Sheet Size:	A3
Drawn:	RP	Checked:	SD
Date:	31.07.25	Date:	31.07.25
			B



PROPOSED ELEVATION
(1:100)



ALL DIMENSIONS ARE IN mm UNLESS NOTED OTHERWISE

N.G.R | E: 621175 | N: 136555

NOTES:

A	PLANNING ISSUE	RP	SD	31.07.25
REV	MODIFICATION	BY	CH	DATE



Unit E, Madison Place, Northampton Road,
Manchester, M40 5AG
Tel: 0161 785 4500
Fax: 0161 785 4501
Web: www.clarke-telecom.com



Cell Name	Opt.
SW ON CHERITON ROAD	—

Cell ID No				
CSID	—	VF	—	VMO2
30936800	—		25684	
Project No.	—	TM Cell ID	—	N/A
—	—		—	

Site Address / Contact Details
CHERITON ROAD MOREHALL FOLKESTONE KENT CT19 5JY

Drawing Title:		PROPOSED ELEVATION			
Purpose of issue:		PLANNING			Dwg Rev:
Drawing Number:		301			A
Surveyed By:		RA		Original Sheet Size:	Pack Issue:
Drawn:		Date:	Checked:	Date:	
RP		31.07.25	SD	31.07.25	B

FOLKESTONE TOWN COUNCIL

Planning Applications for the meeting of the Planning Committee on

Thursday 29 January 2026 at 7pm

Application no	26/0001/FH
Location	Flat 2B, 21 Grimston Gardens
Proposal	Retrospective planning application for the replacement and extension of rear decking.
Closing date	27/01/2026
Link	Planning Application: 26/0001/FH
Application no	25/2208/FH
Location	143-147 Dover Road
Proposal	Change of use of ground floor flat to retail, removal of the external staircase, alteration and extension of existing external staircase/walkways and increase the height of existing rear extensions.
Closing date	28/01/2026
Link	Planning Application: 25/2208/FH
Application no	25/2241/FH
Location	Flat 2, 17 Grimston Gardens
Proposal	Replacement of 21no. existing Crittall/PVCu windows with aluminium windows.
Closing date	28/01/2026
Link	Planning Application: 25/2241/FH
FTC Comment	A previous application for window replacement at a separate flat at 17 Grimston Gardens received the following comment – <i>“Object – on the grounds that the material and detailing of the window would not conserve or enhance the character of the conservation area.”</i>
Application no	26/0029/FH
Location	5 Ash Tree Road
Proposal	Conversion of integral garage.
Closing date	30/01/2026
Link	Planning Application: 26/0029/FH
FTC Comment	<i>“Objection. The Committee supports the conversion and welcome the principle of the provision of outside space but feel that side</i>

screens should be added to maintain reasonable privacy for neighbours.”

Application no 26/0012/FH
Location Ground Floor Business Premises, 194 Dover Road
Proposal Change Of Use of former office (Class E(g)(i)) into a one bedroom flat (Class C3(a)).
Closing date 06/02/2026
Link [Planning Application: 26/0012/FH](#)

Application no 26/0026/FH
Location Leader Vale, 22B Turketel Road
Proposal Variation of Condition 8 (landscaping) and 2 (drawings) of planning permission 22/2119/FH to allow for alterations to the approved landscaping scheme to remove the pleached trees to the western boundary.
Closing date 03/02/2026
Link [Planning Application: 26/0026/FH](#)
FTC Comment The comment from the Planning Committee at the time of Application 22/2119 is as follows – *“Object - this will set a precedence for others to do the same and the Committee upheld the neighbours' objections.”*

Application no 26/0002/FH
Location East Station Goods Yard, Southern Way
Proposal Development of a Class E(a) retail food store and Class E units, with associated parking, landscaping and access.
Closing date 12/02/2026
Link [Planning Application: 26/0002/FH](#)

Application no 26/0052/FH
Location 38 Morehall Avenue
Proposal Change of Use of Church Hall to Dwelling (Use Class C3) including removal of part of roof to provide a garden.
Closing date 06/02/2026
Link [Planning Application: 26/0052/FH](#)

Application no 25/2242/FH/PA
Location 9 Cambridge Gardens
Proposal Determination as to whether the prior approval of the Local Planning Authority is required under Class MA of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) for the change of use & conversion from commercial, business and service (Class E) to dwellinghouses (Class C3).
Closing date 09/02/2026
Link [Planning Application: 25/2242/FH/PA](#)

Application no 25/2288/FH
Location Flat 7, 10 Clifton Crescent
Proposal Installation of one conservation roof light.
Closing date 11/02/2026
Link [Planning Application: 25/2288/FH](#)

Application no 25/2290/FH
Location Flat 7, 10 Clifton Crescent
Proposal Listed Building Consent for the installation of one conservation roof light.
Closing date 11/02/2026
Link [Planning Application: 25/2290/FH](#)

Application no 26/0048/FH
Location 38 Bradstone Road
Proposal Replacement of all windows and doors with uPVC Windows and doors.
Closing date 12/02/2026
Link [Planning Application: 26/0048/FH](#)

Application no 26/0059/FH/PA
Location 74 Tontine Street
Proposal Determination as to whether the prior approval of the Local Planning Authority is required under Class G of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) for a change of use from commercial, business and service (Use Class E) to mixed use including up to two flats (Use Class C3).
Closing date 12/02/2026

Link [Planning Application: 26/0059/FH/PA](#)

RE-CONSULTATIONS

Application no 25/2251/FH
Location 19 Hasborough Road
Proposal Rear and side extension with rooflights, with additional rooflights in loft space, and replacement of existing garage door and side passage entrance with new garage door and infill brickwork.
Closing date 28/01/2026
Link [Planning Application: 25/2251/FH](#)
FTC Comment *"No Objection."*

Application no 25/2055/FH
Location Rhodesia House, 2 Clifton Crescent
Proposal Change of use and refurbishment from hotel (Class C1) to 5 self contained flats (Class C3) following fire damage.
Amendment Amended Plans added 19/01/2026
Closing date 03/02/2026
Link [Planning Application: 25/2055/FH](#)
FTC Comment *"No objection. The application is welcomed and the proposed internal layout alterations appear to be appropriate. However we have concerns given this is a Grade II listed building that the interior features should remain protected. A condition relating to an agreed schedule of strip-out would be appropriate."*

APPEALS

Appeal Number AP-6759
Application no 24/1591/FH
Location Flat 11, 3 Trinity Crescent
Proposal Retrospective application for the replacement of a fixed glazed roof light with an extension to dormer window to create a double dormer window on the side/north elevation.
Closing date 06/02/2026
Link [Appeal: AP-6759](#)
FTC Comment *"Object – the Town Council maintains its previous objection Meeting of 17.12.24 "Object - The drawings are inadequate to describe the development proposed and are not to scale."*

PREMISES LICENCES

Application no	PR202511-125769
Location	Motis Lorry Park, Cheriton Parc, Cheriton High Street
Proposal	Alcohol ON Sales Only
Closing date	12/02/2026
Link	Process: PR202511-125769